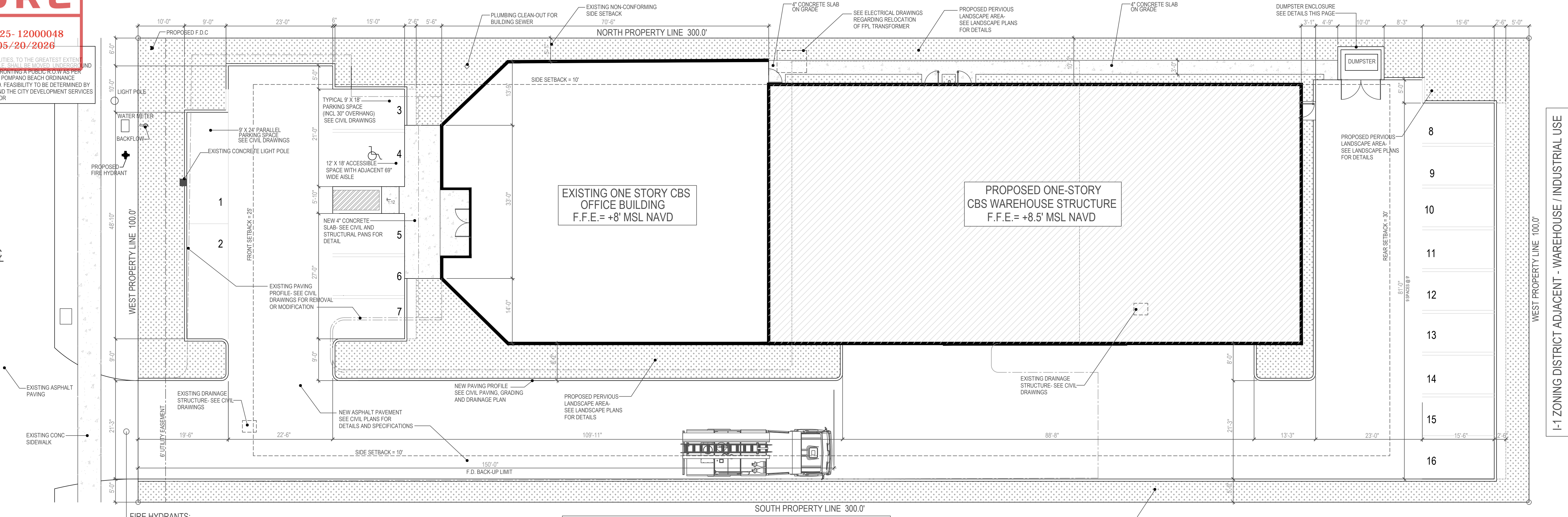


DRC

PZ25- 12000048  
05/20/2026

NOTE:  
ALL UTILITIES TO THE GREATEST EXTENT POSSIBLE SHALL BE MAINTAINED AS SHOWN WHEN FRONTING A PUBLIC ROW AS PER CITY OF POMPANO BEACH ORDINANCE 155.5509. FEASIBILITY TO BE DETERMINED BY F.P.L. AND THE CITY DEVELOPMENT SERVICES DIRECTOR.

S.W. 30TH AVENUE



FIRE HYDRANTS:  
ONE LOCATED APPROX. 117' SOUTH OF THIS POINT  
ONE LOCATED APPROX. 560' SOUTH OF THIS POINT

I-1 ZONING DISTRICT ADJACENT - WAREHOUSE / INDUSTRIAL USE

I-1 ZONING DISTRICT ADJACENT - WAREHOUSE / INDUSTRIAL USE

**GENERAL**

THIS PRINT IS AN INSTRUMENT OF SERVICE ONLY AND IS THE PROPERTY OF THE ARCHITECT. WRITTEN DIMENSIONS ON THESE DRAWINGS SHALL HAVE PREFERENCE OVER SCALE DIMENSIONS. CONTRACTORS SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS ON THE JOB AND THIS OFFICE MUST BE NOTIFIED OF ANY VARIATIONS FROM THE DIMENSIONS AND THE CONDITIONS SHOWN BY THESE DRAWINGS PRIOR TO THE EXECUTION OF THE WORK. ATTENTION IS DIRECTED TO PROVISIONS IN A.I.A. DOCUMENT A201 "GENERAL CONDITIONS" REGARDING CONTRACTOR'S RESPONSIBILITIES IN REGARD TO SUBMISSION OF SHOP DRAWINGS. IN THE EVENT THAT THE ARCHITECT IS RETAINED TO REVIEW SHOP DRAWINGS, SUCH REVIEW IS ONLY TO CHECK WITH CONFORMANCE WITH DESIGN CONCEPT AND WITH THE INFORMATION GIVEN IN THE CONTRACT DOCUMENTS. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL DIMENSIONS AND ARCHITECTS REVIEW SHALL NOT BE FOR VERIFICATION OF DIMENSIONS. CONTRACTOR SHALL PROMPTLY NOTIFY THE ARCHITECT IN WRITING OF THE EXISTENCE OF ANY OBSERVABLE VARIATIONS BETWEEN THE CONTRACT DOCUMENTS AND ANY APPLICABLE CODES OR ORDINANCES OF REGULATORY AGENCIES. UNLESS OTHERWISE NOTED CONTRACTOR IS TO SUBMIT SHOP DRAWINGS FOR THE ARCHITECT TO REVIEW FOR THE FOLLOWING ITEMS: ROOF TRUSSES, CABINETRY, LANDSCAPING, GLASS CURTAIN WALLS, RAILINGS, SCREEN ENCLOSURES AND SWIMMING POOLS. ROOF TRUSS MANUFACTURER IS TO SUPPLY DESIGN CALCULATIONS AND SHOP DRAWINGS SIGNED AND SEALED BY A FLORIDA REGISTERED STRUCTURAL ENGINEER. ALL WORK SHALL BE PERFORMED IN A WORKMANLIKE MANNER AND UNLESS OTHERWISE STATED BUILDER'S STANDARDS SHALL PREVAIL. ALL STRUCTURAL COMPONENTS SHALL BE TRUE AND PLUMB. ALL MANUFACTURED PRODUCTS SHALL HAVE PRODUCT APPROVAL FROM THE APPROPRIATE AGENCY. ALL WORK SHALL CONFORM TO THE 2017 FLORIDA RESIDENTIAL BUILDING CODE AND ERRORS AND OMISSIONS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT PRIOR TO THE EXECUTION OF THE WORK.

**WOODWORK**

ALL WOODWORK AND ANCHORAGE AS PER FLORIDA BUILDING CODE CHAPTER 23, UNLESS OTHERWISE NOTED. ALL LUMBER TO BE HEM-FIR CONSTRUCTION GRADE AND LIMITED TO 1000 PSI EXTREME FIBRE BENDING STRESS. ALL EXTERIOR WOOD TRIM OR FRAMING TO BE PRESSURE TREATED OR OTHERWISE PROTECTED. ANY SHEATHING TO BE 5/8" UNLESS NOTED OTHERWISE AND NAILED AS PER SCHEDULE ON FRAMING PLAN. ALL ANCHORAGE AS PER ANCHOR SCHEDULE. SUBSTITUTE ANCHORS TO BE APPROVED BY THIS OFFICE PRIOR TO INSTALLATION.

**WATERPROOFING**

ALL MASONRY AND CONCRETE WALLS SUBJECT TO HIGH MOISTURE LEVELS ARE TO BE WATERPROOFED WITH THOROSEAL BRAND PARCE COAT (OR EQUAL) PRIOR TO FINISHING. ALL ROOFS TO BE INSTALLED AS PER MANUFACTURERS SPECS AND DADE-COUNTY PRODUCT APPROVAL LITERATURE. ALL DETAILS AS PER NRCA GUIDELINES. FLASHING AND DIVERTERS/GUTTERS TO BE INSTALLED AS REQUIRED TO PREVENT MOISTURE PENETRATION OR COSMETIC DAMAGE TO STRUCTURE.

**RESPONSIBILITY OF BIDDERS**

IT SHALL BE THE RESPONSIBILITY OF ALL BIDDERS TO VISIT THE SITE OF THE WORK AND ACQUAINT THEMSELVES WITH ALL AVAILABLE INFORMATION REGARDING THE LOCATION OF EXISTING FACILITIES. FAILURE OF BIDDERS TO FULLY INFORM THEMSELVES OF ALL EXISTING CONDITIONS AND TO INCLUDE IN THEIR PROPOSALS A SUM TO COVER SUFFICIENTLY WILL NOT ENTITLE THEM TO AN EXTRA

**DEMOLITION**

EXISTING CONCRETE SINGLE STORY OFFICE STRUCTURE TO REMAIN. CONTRACTOR TO INSPECT ALL EXISTING WALLS THAT ARE TO REMAIN FOR STRUCTURAL INTEGRITY. REPLACEMENT OF DAMAGED STRUCTURAL COMPONENTS TO BE DONE IN COMPLIANCE WITH THE FLORIDA BUILDING CODE, LATEST EDITION. ALL DAMAGED SURFACES ARE TO BE PATCHED AND BLENDED TO MATCH NEW CONSTRUCTION.

**APPLICABLE CODES**

2023 FLORIDA BUILDING CODE  
2023 FLORIDA FIRE PREVENTION CODE  
2021 NFPA-101  
TYPE III-B CONSTRUCTION  
GROUP I-1 OCCUPANCY  
CLASSIFICATION OF WORK- NEW CONSTRUCTION

**ONE STORY ADDITION TO AN EXISTING OFFICE BUILDING**

**FINISH GROUND FLOOR ELEVATION = +8.0MSL (EXISTING OFFICE SLAB)**

**+8'-6" NEW BLDG SLAB**

**LEGAL DESCRIPTION:**

THE SOUTH 1/2 OF PARCEL B, GATEWAY INDUSTRIAL CENTER NO. 29, ACCORDING TO THE PLAT THEREOF RECORDED IN PLAT BOOK 117, PAGE 30 PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA.

NOTE!  
SUBJECT PROPERTY IS LOCATED IN FLOOD ZONE 'AE' (SEE ATTACHED ELEVATION CERTIFICATE)

**WAREHOUSE ADDITION  
POMPANO 1150 LLC**

**LOCATION:**  
1150 SW 30TH AVE.  
POMPANO BEACH, FL 33069

**OWNER:**  
POMPANO 1150 LLC  
515 N.E. 190TH STREET  
MIAMI, FL 33170

**APPLICABLE CODES:**  
2023 FLORIDA BUILDING CODE  
2023 FLORIDA FIRE PREVENTION CODE  
2021 NFPA-101  
WITH LOCAL AMENDMENTS  
2023 NATIONAL ELECTRICAL CODE

**PROJECT AREA AND PROPOSED USE :**

GROUP S-1, MODERATE HAZARD STORAGE  
TOTAL AREA = 6405 G.S.F.

**SCOPE OF WORK:**

- CONSTRUCTION OF NEW CBS ONE STORY WAREHOUSE ADDITION TO EXISTING ONE STORY CBS OFFICE BUILDING

**TYPE OF CONSTRUCTION:**

1-STORY CBS OFFICE BUILDING- TYPE III-B (EXISTING)

**NEW WAREHOUSE ADDITION- TYPE III-B WITH FRAMED TENANT DEMISING PARTITIONS**

**ARCHITECT:**  
CARLOS DOUGNAC FL REG # 9423  
1945 NW 113TH DRIVE  
GAINESVILLE, FL 32606  
PH # 352.260.1829

**CIVIL ENGINEERING CONSULTANT:**  
Holland Engineering, Inc.  
Civil Engineering Solutions  
301 SW 7th Street, Ft. Lauderdale, FL 33311  
(954) 367-0371 office  
CAD007325 www.hollandengineering.us

**LANDSCAPE ARCHITECT:**  
Thomas L. White, ASLA/ISA  
Landscape Architect, Certified Arborist, LEED Green Associate  
twhite@twhite.net  
954-253-2265

**STRUCTURAL CONSULTANT:**  
CSW Structural Engineers, Inc. ("CSW")  
Marc Savoy, Eugene Crosby  
5307 Orange Drive, Suite 203  
Davie, FL 33314  
Phone: 352.260.1829  
Phone: 954.316.5001

**M/E/P CONSULTANT:**  
Everything Energy Engineering  
Mikah Abbott  
1695 S. Dixie Hwy  
Pompano Beach, FL 33060  
Phone: 954-778-2003, 561-334-3170

SITE DATA	
SITE AREA 30,000 S.F.	
AREA CALCULATIONS	
4,000 SF	EXISTING BUILDING
6,405 SF	PROPOSED WAREHOUSE ADDITION
10,405 SF	TOTAL BUILDING AREA (35% OF SITE)
19,500 SF	MAX ALLOWED BUILDING AREA (65%)
6,014 SF	PROPOSED PERVIOUS AREA (20%)
6,000 SF	MIN. REQ. PERVIOUS AREA (20%)

ZONING DATA	
INDUSTRIAL (I-1)	
PARKING CALCULATIONS	
4,000 SF	EXISTING OFFICE BUILDING
6,405 SF	NEW WAREHOUSE USE*

4,000 / 400 SF/SPACE = 10 SPACES
3,000 / 750 SF/SPACE = 4 SPACES
3,405 / 2,500 SF/SPACE = 1.36 = 2 SPACES
TOTAL SPACES REQUIRED = 16 PARKING SPACES
TOTAL SPACES PROVIDED = 16 PARKING SPACES
MIN. OF 1 ACCESSIBLE SPACE INCLUDED

MINIMUM LANDSCAPE AREA	
MINIMUM REQUIRED	PROVIDED
20% OF LOT AREA= 6000 SF	6014 SF

SETBACKS	
MINIMUM REQUIRED	PROVIDED
FRONT = 25'	65'-6"
REAR = 30'	49'-1"
SIDES = 10'	10'

MAXIMUM HEIGHT	
MAXIMUM ALLOWED	PROPOSED
45' / 2 STORIES	29' / 1 STORIES

**FLOOD & UTILITIES**

LOWEST FINISHED FLOOR - +8.0 MSL NAVD 1988

EXISTING BUILDING

MIN. FLOOD ELEVATION- MSL ZONE = +7'-0"NAVD

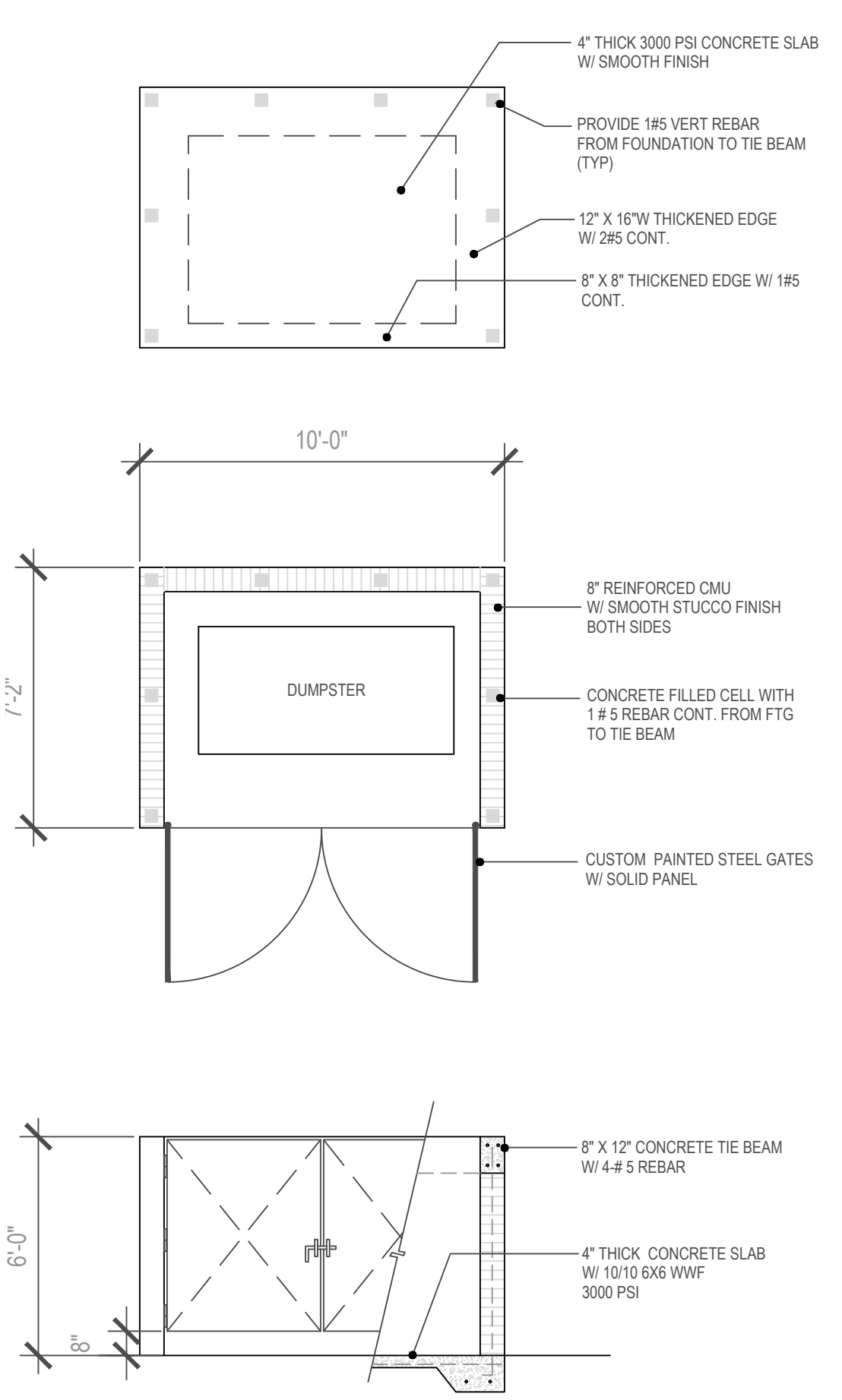
WATER PROVIDED BY CITY OF FT. LAUDERDALE

SEWER PROVIDED BY BROWARD COUNTY UTIL

\* WITH LESS THAN 20% INCIDENTAL OFFICE USE

**LIST OF DRAWINGS**

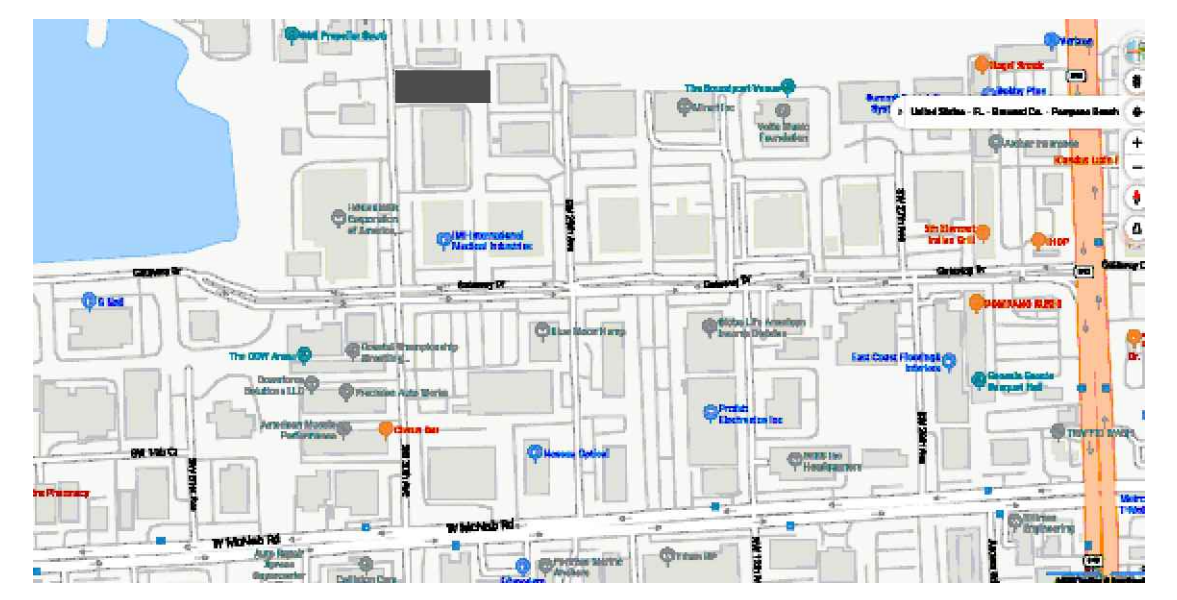
- SURVEY**
- 001 SU-1 SURVEY
- ARCHITECTURAL**
- 002 A-1 SITE PLAN  
003 A-2 FLOOR PLAN  
004 A-3 SECTION/MISC  
005 A-4 ELEVATIONS  
006 A-5 ROOF & LIFE SAFETY PLAN
- CIVIL**
- 007 C-1 PAVING, GRADING, AND DRAINAGE  
008 C-2 PAVEMENT MARKINGS AND SIGNAGE  
009 C-3 STORMWATER AND POL PREVEN PLAN  
010 C-4 DETAILS
- STRUCTURAL**
- 011 S-0.0 GENERAL NOTES  
012 S-0.1 NOTES AND SCHEDULES  
013 S-1.0 FOUNDATION PLAN  
014 S-1.1 INTERMEDIATE BEAM  
015 S-2.0 ROOF FRAMING  
016 S-3.0 FOUNDATION SECTIONS  
017 S-3.0 ROOF SECTIONS  
018 S-3.0 WIND PRESSURES
- ELECTRICAL**
- 019 E-1 SERVICE RISER AND NOTES  
020 E-2 LIGHTING PLAN  
021 E-3 POWER DISTRIBUTION PLAN  
022 E-4 SITE LIGHTING PHOTOMETRIC
- MECHANICAL**
- 023 M-1 MECHANICAL FLOOR PLAN  
024 M-2 SCHEDULES AND DETAILS
- PLUMBING**
- 025 P-1 NOTES AND DETAILS  
026 P-2 SANITARY DRAINAGE PLAN  
027 P-3 WATER RISERS AND DIST. PLAN
- LANDSCAPE**
- 028 L-1 LANDSCAPE PLAN  
029 L-2 DETAILS



NOTE!  
SEE OPTED PLAN A-6 FOR SECURITY FEATURES TO BE INCORPORATED INTO PROJECT.  
SECURITY ALARM AND VIDEO MONITORING TO BE DESIGNED AND INSTALLED BY OTHERS AS PER OPTED NARRATIVE  
SEE SUSTAINABILITY NARRATIVE FOR ENERGY-CONSERVING FEATURES TO BE INCORPORATED INTO PROJECT.  
SOLAR WATER HEATING SYSTEM(S) TO BE DESIGNED AND INSTALLED BY OTHERS.  
ROOFING CONTRACTOR TO PROVIDE HIGH-ALBEDO ROOF AS PER COOL ROOF RATING COUNCIL GUIDELINES

**FIRE PROTECTION**

NEW CONSTRUCTION TO BE PROTECTED BY A FULLY AUTOMATIC WET-PIPE FIRE SPRINKLER SYSTEM TO BE DESIGNED AND INSTALLED AS PER STATE, LOCAL AND NFPA 13 REQUIREMENTS. FIRE PROTECTION SUBCONTRACTOR TO PROVIDE ALL REQUIRED LAYOUT AND FLOW CALCULATIONS FOR REVIEW AND PERMITTING PRIOR TO COMMENCEMENT OF WORK



**LOCATION MAP**  
NOT TO SCALE  
1150 S.W. 30TH AVE  
POMPANO BEACH, FL 33069

**DUMPSTER ENCLOSURE**  
SCALE 1/4"=1'-0"

WAREHOUSE ADDITION  
FOR  
POMPANO 1150 LLC

CARLOS DOUGNAC  
REG. ARCHITECT #9423  
1945 NW 113TH DR  
GAINESVILLE, FL 32606  
352.260.1829

IMPROVEMENTS  
FOR  
POMPANO 1150 LLC  
1945 NW 113TH DR  
MIAMI, FLORIDA 33179  
AT  
POMPANO BEACH  
FLORIDA

DRC SET  
NOT FOR CONSTRUCTION

REVISED:  
10.31.25  
03.25.26

REVIEWS:

DATE:  
10.31.25  
03.25.26

DWG NAME:

TITLE:  
SITE PLAN

A-1  
OF 5